

# FIRE REPAIRS & ALTERATIONS TO TWO-FAMILY DWELLING

## 941 26th STREET

## OAKLAND, CALIFORNIA 94607

**A. CLARK**  
ARCHITECTURE  
250 MAC ARTHUR BLVD.  
SAN LEANDRO, CALIFORNIA, 94577  
(510) 568-5599 tel/fax  
art@acarch.com

### DRAWING INDEX

- A0.1 SITE PLAN
- A1.0 EXISTING CONDITIONS
- A2.0 PROPOSED FLOOR PLANS
- A2.1 PROPOSED ELEC/MECH PLANS
- A3.0 EXISTING ELEVATIONS
- A3.1 PROPOSED ELEVATIONS
- A4.0 DETAILS & SECTIONS
- T24-1 CF-1R CERTIFICATE
- T24-2 MANDATORY MEASURES

### PROJECT TEAM

OWNER: GEORGE BAZLAMIT  
521 HOPKINS AVENUE  
REDWOOD CITY, CA 94063

ARCHITECT: ARTHUR L. CLARK  
A. CLARK ARCHITECTURE  
250 MACARTHUR BLVD.  
SAN LEANDRO, CA 94577  
(510) 568-5599

### PROJECT DATA

ADDRESS: 941 26th STREET  
APN: 5-432-3  
ZONING: RM-2  
LOT SIZE: 2,447.42 SF  
OCCUPANCY: U  
CONSTRUCTION TYPE: V-B

### SCOPE OF WORK

THE FOLLOWING SCOPE OF WORK IS PROPOSED AT AN TWO-FAMILY DWELLING AT 941 26TH ST.:

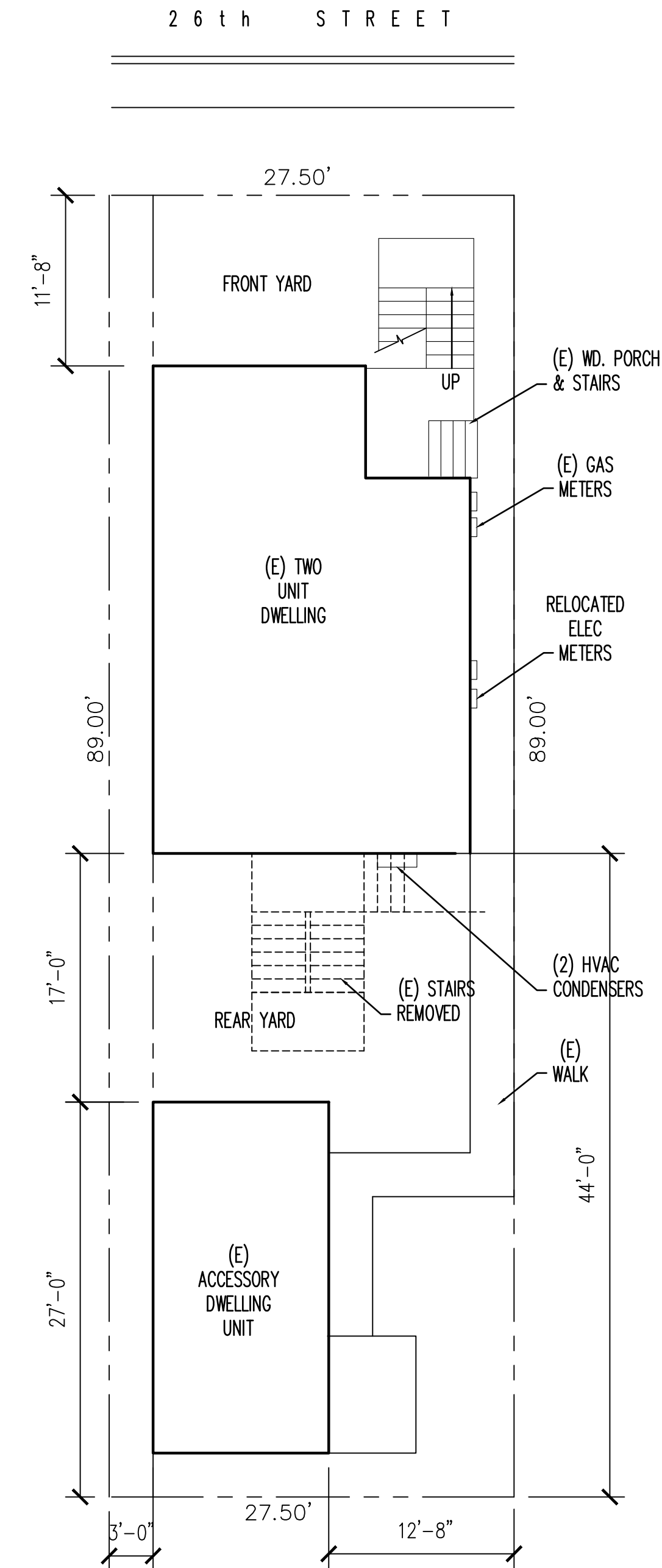
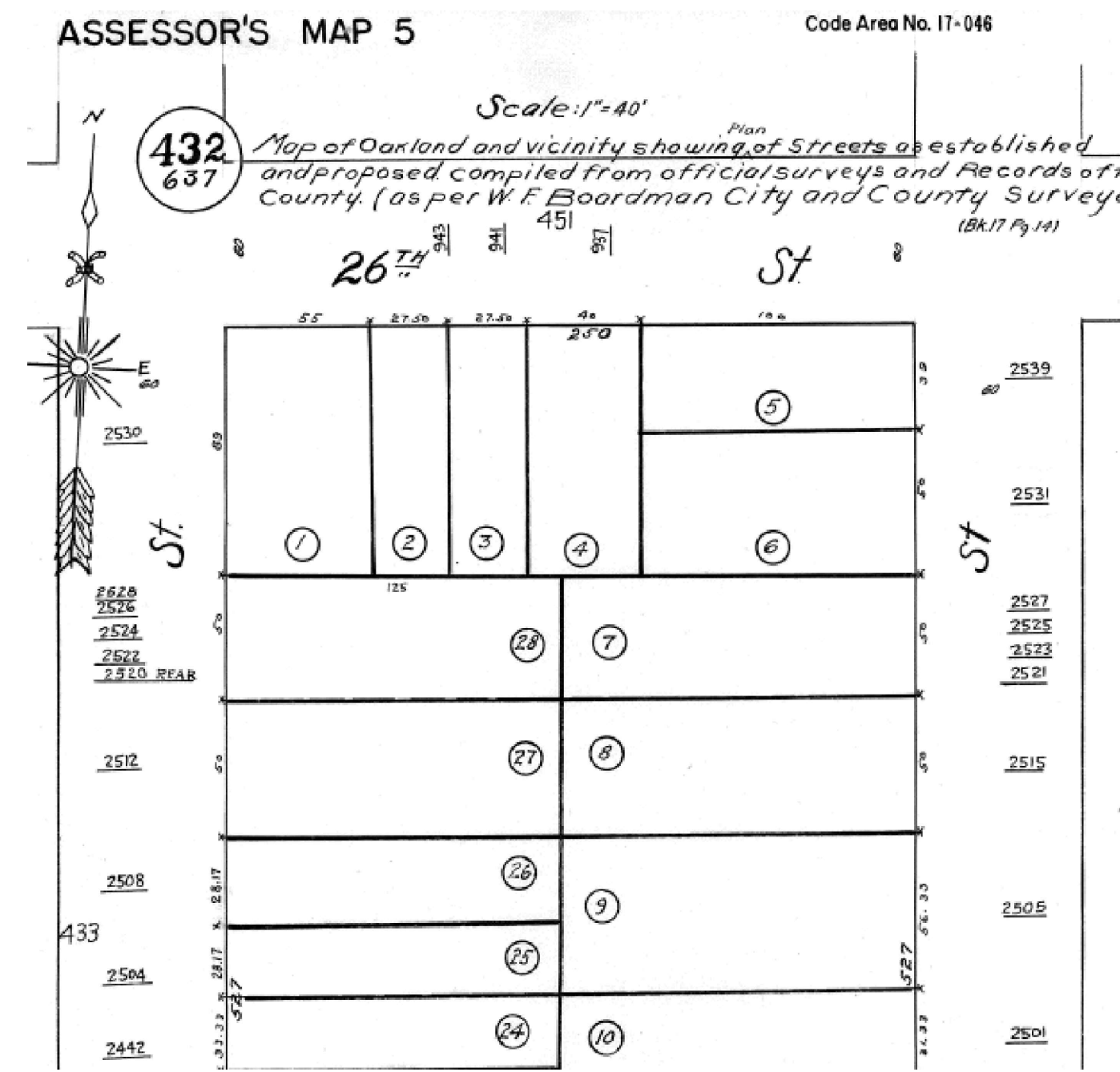
FIRE REPAIRS AND INTERIOR ALTERATIONS TO AN EXISTING TWO-FAMILY DWELLING.

### GENERAL NOTES

- ALL WORK SHALL CONFORM TO THE 2019 CALIFORNIA BUILDING CODE, CALIFORNIA RESIDENTIAL CODE, CALIFORNIA ELECTRICAL CODE, CALIFORNIA MECHANICAL CODE, CALIFORNIA PLUMBING CODE AND CALIFORNIA BUILDING ENERGY EFFICIENCY STANDARDS AS AMENDED BY THE CITY OF OAKLAND.
- THE CONTRACTOR SHALL VERIFY ALL DIMENSIONS AND SITE CONDITIONS BEFORE START OF WORK. THE ARCHITECT SHALL BE NOTIFIED OF ANY DISCREPANCIES.
- LUMBER:  
ALL LUMBER SHALL BE DOUGLAS FIR OF THE FOLLOWING GRADE UNLESS NOTED OTHERWISE AND SHALL HAVE MAX. 19% MOISTURE CONTENT AT TIME OF INSTALLATION.  
  
RAFTERS AND JOISTS: NO. 2 OR BETTER  
STUDS AND PLATES: CONSTRUCTION  
BEAMS: NO. 2 OR BETTER  
POSTS AND MULLIONS: NO. 2 OR BETTER  
MISC. - BLOCKING, FURRING NO. 2  
  
ALL BEAMS, POSTS, LEDGERS AND JOISTS SHALL BE PRESSURE-TREATED
- CONCRETE:  
ALL REINFORCED CONCRETE SHALL OBTAIN A COMPRESSIVE STRENGTH OF 2500 PSI AT 28 DAYS.  
ALL CEMENT SHALL CONFORM TO ASTM C-150, TYPE 1  
AGGREGATE SHALL CONFORM TO ASTM C-33.
- FIRE SPRINKLERS:  
THE EXISTING RESIDENCE DOES NOT HAVE FIRE SPRINKLERS. THE PROPOSED PROJECT WILL NOT REQUIRE INSTALLATION OF FIRE SPRINKLERS.
- PER CGBC SECTION 4.408.1 RECYCLE AND/OR SALVAGE FOR REUSE A MINIMUM OF 65% OF NONHAZARDOUS CONSTRUCTION AND DEMOLITION WASTE IN ACCORDANCE WITH CODE SECTION 4.408.2, 4.408.3 OR 4.408.4
- PROVIDE STORM WATER DRAINAGE AND RETENTION DURING CONSTRUCTION IN COMPLIANCE WITH CGBC SECTION 4.106.2.

### LEGEND

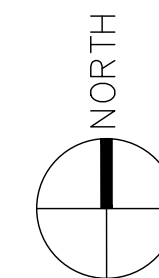
- WALL TO BE DEMOLISHED
- EXISTING WALL TO REMAIN
- NEW WALL - SEE TYPES ON SHEET A2.0
- WALL TYPE - SEE TYPES ON SHEET A2.0
- DUPLEX RECEPTACLE (G = GFCI)  
ALL NEW RECEPTACLES TO BE TAMPER-RESISTANT
- CEILING EXHAUST FAN
- SMOKE ALARM - HARDWIRED AND INTERCONNECTED
- CARBON MONOXIDE ALARM - HARDWIRED AND INTERCONNECTED
- WALL MOUNTED LIGHT FIXTURE  
HIGH EFFICACY - CFL OR LED FIXTURE
- SURFACE MOUNTED CEILING LIGHT FIXTURE  
HIGH EFFICACY - CFL OR LED FIXTURE
- RECESSED CEILING LIGHT FIXTURE  
HIGH EFFICACY - CFL OR LED FIXTURE
- SWITCH 3 = 3 WAY
- SWITCH (2) = CIRCUIT NUMBER
- SWITCH (HE) = HIGH EFFICACY LIGHT
- UNDERCABINET LIGHT FIXTURE  
HIGH EFFICACY FIXTURE - COMPACT FLUORESCENT (CFL)
- NEW
- EXISTING
- WHERE OCCURS



3 VICINITY MAP  
A0.1 NOT TO SCALE

2 ASSESSOR'S PARCEL MAP  
A0.1 SCALE: NONE

1 SITE PLAN  
A0.1 SCALE: 1/8"=1'-0"



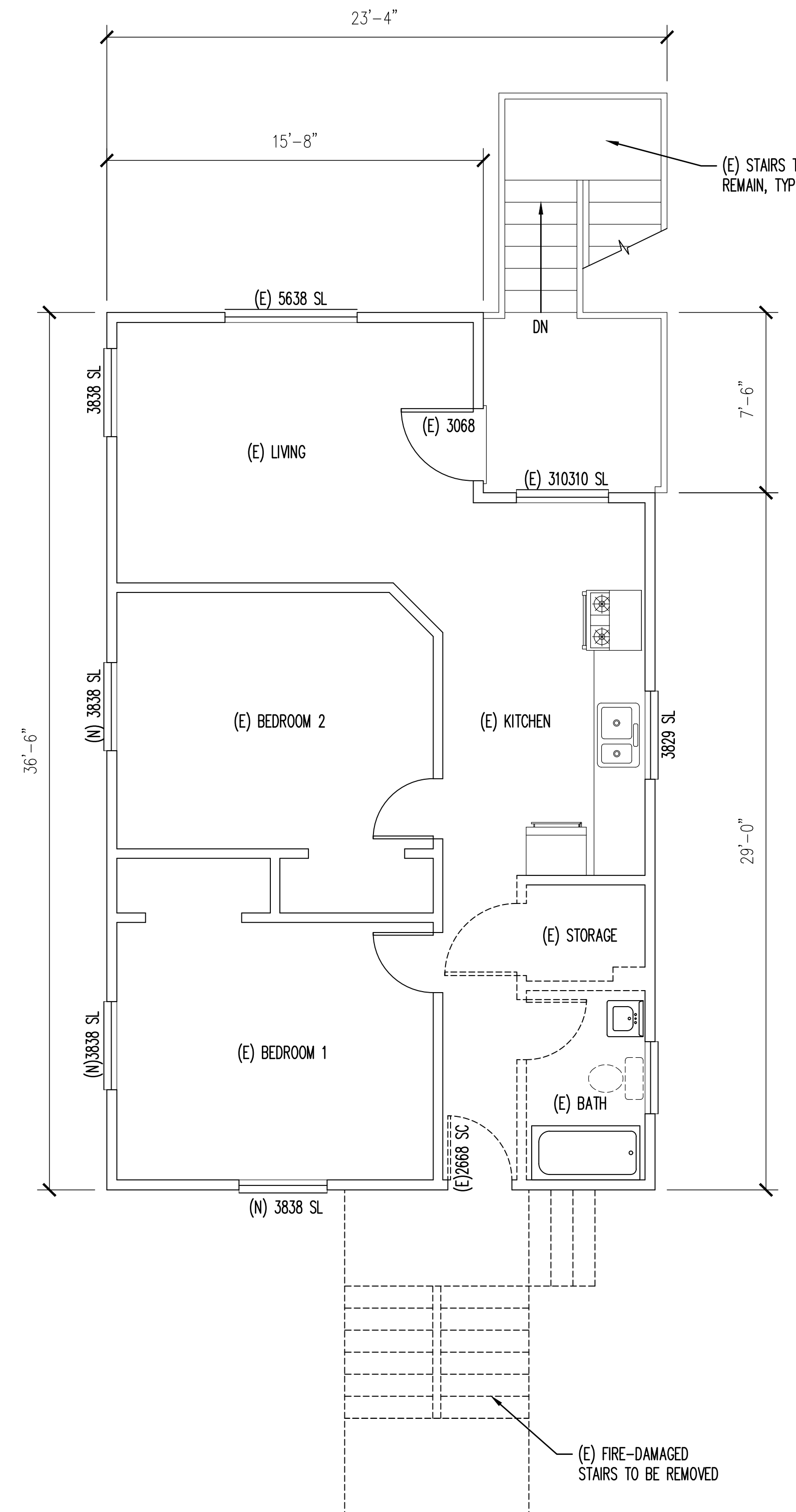
FIRE  
REPAIR  
ALTERATIONS

941 26th STREET  
OAKLAND, CALIFORNIA

SITE  
PLAN

SHEET NO.

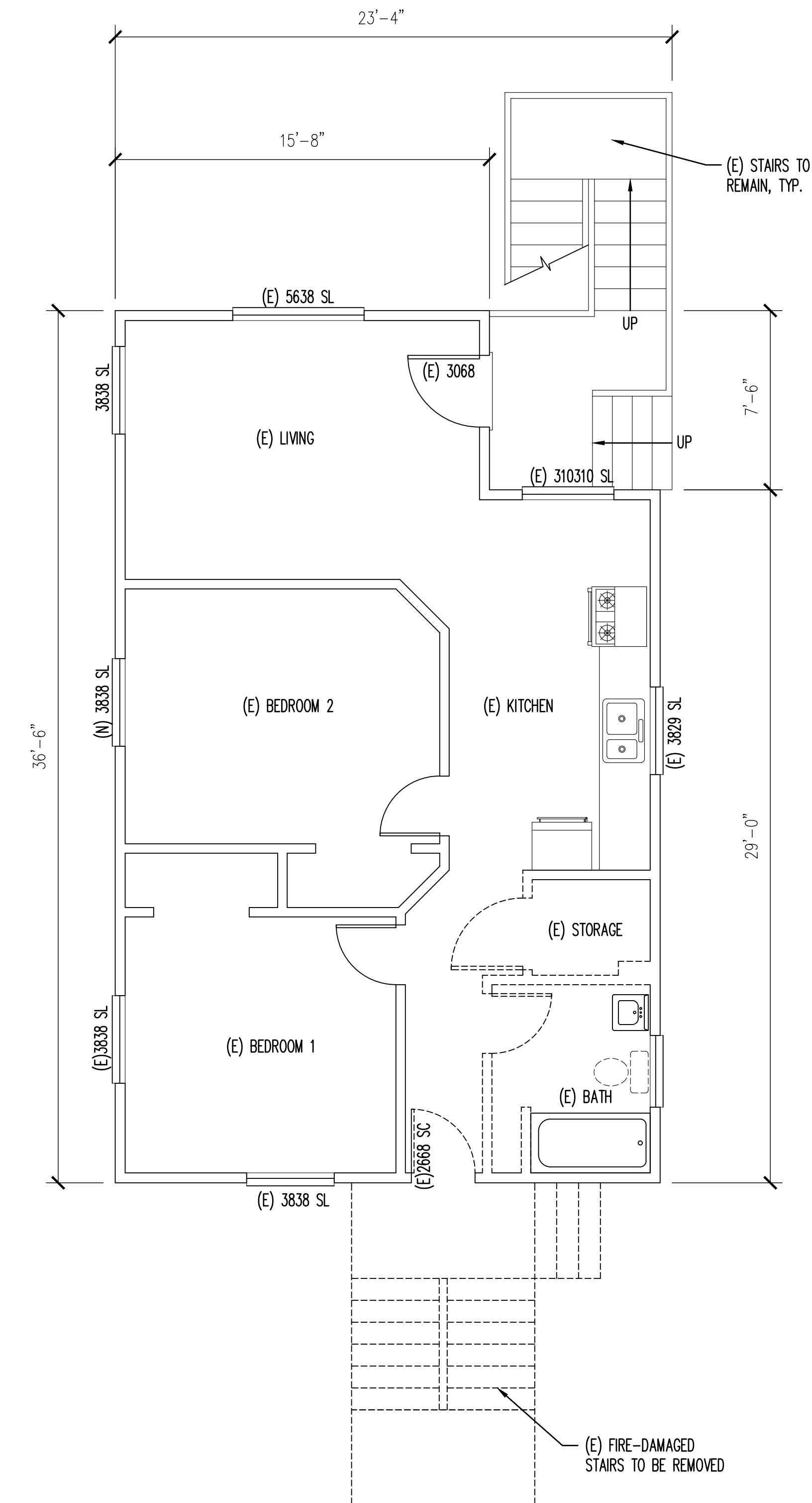
A0.1



3  
A1.0

UPPER FLOOR PLAN

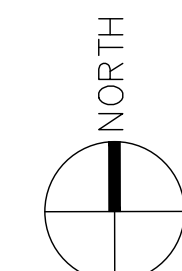
SCALE: 1/4"=1'-0"



1  
A1.0

LOWER FLOOR PLAN

SCALE: 1/4"=1'-0"



|                            |                           |
|----------------------------|---------------------------|
| DATE                       | APRIL XX, 2022            |
| JOB NO.                    | 2022.11                   |
| DRAWN                      |                           |
| CHECKED                    |                           |
| Approved for the Owner     |                           |
| Approved for the Architect |                           |
| ©                          | 2022 A CLARK ARCHITECTURE |
| PROFESSIONAL STAMP         |                           |



| NO. | REVISION | DATE |
|-----|----------|------|
|-----|----------|------|

# FIRE REPAIR ALTERATIONS

941 26th STREET  
OAKLAND, CALIFORNIA

## EXISTING PLANS

SHEET NO.

# A1.0

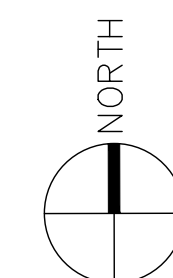
1. PER CBC SECTION 4.303, PROVIDE THE FOLLOWING WATER CONSERVING FIXTURES AND FITTINGS IN ACCORDANCE WITH CODE SECTION:  
A. SHOWERHEADS = 1.8 GPM @ 80 PSI  
B. LAVATORY FAUCETS = 1.2 GPM @ 60 PSI  
C. KITCHEN FAUCET = 1.8 GPM @ 60 PSI  
D. TANK WATER CLOSET = 1.28 GALLONS/FLUSH
2. SMOKE ALARMS AND CARBON MONOXIDE ALARMS SHALL BE HARD-WIRED CONNECTED TO BUILDING POWER SOURCE WITH BATTERY BACKUP. INTERCONNECT SMOKE ALARMS AND CARBON MONOXIDE ALARMS TO ACTIVATE ALL DEVICES IN THE EVENT OF AN ALARM. SMOKE ALARM IN LIVING AREA TO BE IONIZATION TYPE WITH ALARM SILENCING SWITCH OR PHOTOELECTRIC TYPE.
3. BATHROOMS, UTILITY AND LAUNDRY ROOMS SHALL HAVE HIGH EFFICACY FIXTURES. AT LEAST ONE FIXTURE PER ROOM/SPACE SHALL BE CONTROLLED BY VACANCY SENSOR. CEC SECTION 150.0(k)(2)(i)
4. ALL 125V. 15 AND 20-AMP RECEPTACLES SHALL BE LISTED TAMPER-RESISTANT RECEPTACLES.
5. ALL BATHROOM EXHAUST FANS TO HAVE INTEGRAL HUMIDISTAT WITH RANGE OF 50% TO 80% HUMIDITY PER CGCS 4.506, BE ENERGYSTAR COMPLIANT AND BE DUCTED TO TERMINATE OUTSIDE OF BUILDING.
6. 2019 CGBC MANDATORY MEASURES ARE INCORPORATED:  
A. ENERGY COMPLIANCE CERTIFICATE  
B. WATER CONSERVING PLUMBING FIXTURES  
C. CONSTRUCTION WASTE MANAGEMENT PLAN – SUBMITTED AS PART OF THIS APPLICATION  
D. DUCT OPENINGS TO BE COVERED DURING CONSTRUCTION  
E. PAINTS AND ADHESIVES TO COMPLY WITH VOC CONTENT LIMITS  
F. BATH EXHAUST FANS TO BE ENERGY STAR COMPLIANT WITH HUMIDISTAT CONTROLS  
G. BUILDING AND OPERATION MANUAL TO BE PROVIDED AT FINAL INSPECTION
7. ENVIRONMENTAL AIR DUCT EXHAUSTS SHALL TERMINATE NO LESS THAN 3 FEET FROM PROPERTY LINES AND OPENINGS INTO BUILDING.S.
8. TWO 20-AMP CIRCUITS SHALL BE PROVIDED FOR SMALL KITCHEN APPLIANCES. ONE 20-AMP CIRCUIT SHALL BE PROVIDED FOR LAUNDRY APPLIANCES AND BATHROOM RECEPTACLES OUTLETS EACH.
9. ALL 120-VOLT, SINGLE-PHASE, 15- AND 20-AMP BRANCH CIRCUITS SUPPLYING OUTLETS IN FAMILY/LIVING/DINING ROOMS, BEDROOMS, CLOSETS AND SIMILAR ROOMS/AREAS (EXCEPT KITCHENS/BATHROOMS/LAUNDRY) SHALL BE PROTECTED WITH ARC-FAULT CIRCUIT, COMBINATION TYPE INSTALLED TO PROTECT THE CIRCUITS.
10. ALL KITCHEN COUNTERTOP ELECTRICAL OUTLETS SHALL BE GFCI/AFCI COMBINATION TYPE.
11. LIGHT FIXTURES IN TUB OR SHOWER ENCLOSURES SHALL BE LABELED "SUITABLE FOR DAMP LOCATIONS".
12. SHOWER COMPARTMENTS SHALL HAVE A FINISHED INTERIOR AREA OF 1,024 SQ. IN., MINIMUM.
13. SHOWER ENCLOSURES SHALL BE FINISHED WITH A NONABSORBENT SURFACE TO A HEIGHT NOT LESS THAN 6 FEET ABOVE THE FLOOR.
14. SHOWERS SHALL BE PROVIDED WITH SCALD AND THERMAL SHOCK PROTECTION FOR THE RATED FLOW RATE OF THE INSTALLED SHOWERHEAD.
15. SHOWER DAM OR THRESHOLD SHALL BE NO LESS THAN 2 INCHES NOR MORE THAN 9 INCHES IN DEPTH AS MEASURED FROM TOP OF DAM TO TOP OF DRAIN.
16. SHOWER THRESHOLDS SHALL BE SUFFICIENT WIDTH TO ACCOMMODATE A MINIMUM 22 INCH DOOR. DOORS SHALL OPEN TO MAINTAIN 22 INCH UNOBSTRUCTED OPENING.
17. SHOWER COMPARTMENTS SHALL HAVE MINIMUM FINISHED INTERIOR AREA OF 1024 SQ. INCHES AND ALLOW A 30" CIRCLE. AREA AND DIMENSIONS TO BE MAINTAINED TO A HEIGHT OF NOT LESS THAN 70 INCHES ABOVE SHOWER DRAIN.
18. WATER CLOSETS SHALL NOT BE SET CLOSER THAN 15 INCHES FROM ITS CENTER TO ANY SIDE WALL OR OBSTRUCTION, NOR CLOSER THAN 30 INCHES CENTER TO CENTER TO ANY SIMILAR FIXTURE. THE CLEAR SPACE IN FRONT OF THE WATER CLOSET SHALL NOT BE LESS THAN 24 INCHES.
19. SHOWER GLASS ENCLOSURES SHALL BE SAFETY GLAZING.
20. VACANCY SENSORS OR DIMMERS SHALL BE PROVIDED FOR ALL LUMINAIRES REQUIRED TO HAVE LIGHT SOURCES COMPLIANT WITH REFERENCE JOINT APPENDIX JAB SUCH AS CU-24 SOCKETS CONTAINING LED LIGHT SOURCES. EXCEPT FOR HALLWAYS AND CLOSETS LESS THAN 70 S.F. CEC SECTION 150.0 (k)(2)(j).
21. OUTDOOR LIGHTS ATTACHED TO THE BUILDING SHALL BE HIGH EFFICACY, CONTROLLED BY A MANUAL ON/OFF SWITCH WITH PHOTOCELL AND EITHER A MOTION SENSOR OR AN AUTOMATIC TIME SWITCH CONTROL. OR CONTROLLED BY AN ASTRONOMICAL TIME CLOCK OR BY AN ENERGY MANAGEMENT SYSTEM. CONTROLS THAT OVERRIDE TO ON SHALL NOT BE ALLOWED UNLESS THE OVERRIDE AUTOMATICALLY RETURNS THE AUTOMATIC CONTROLS TO THE NORMAL OPERATION WITHIN 6 HOURS. CEC SECTION 150.0(k)(3)(A).
22. PROVIDE FIBER-CEMENT, FIBER-MAT REINFORCED CEMENT, GLASS MAT GYPSUM OR FIBER-REINFORCED GYPSUM BACKER AS BASE FOR CERAMIC TILES OR OTHER NON-ABSORBENT FINISH MATERIALS IN SHOWER PER CRC SECTION R702.4.2 AND TABLE R702.4.2.

- 1 NATURAL GAS TANKLESS WATER HEATER.
- 2 MINI-SPLIT DUCTLESS HEAT PUMP HVAC.
- 3 100A SUBPANEL.
- 4 TYPE 1 HANDRAIL, MINIMUM 1-1/2" CLEARANCE BETWEEN HANDRAIL AND WALL. SEE BUILDING SECTION 3/A2.0 FOR ADDITIONAL INFORMATION.



**B** EXTERIOR WALL  
2 X 4 STUDS @ 16" O.C. W/5/8" MIN. PLYWD. SIDING, 1/2"  
TYPE "X" GYP. BD. ON INTERIOR.

**C** INTERIOR WALL - ONE-HOUR FIRE RESISTIVE CONSTRUCTION  
2 X 4 STUDS @ 16" O.C. W/1/2" GYPSUM BOARD  
BOTH SIDES



| N0. | REVISION | DATE |
|-----|----------|------|
|-----|----------|------|

# FIRE REPAIR ALTERATIONS

941 26th STREET  
OAKLAND, CALIFORNIA

# PROPOSED FLOOR PLANS

SHEET NO.

## A2.0

GENERAL NOTES

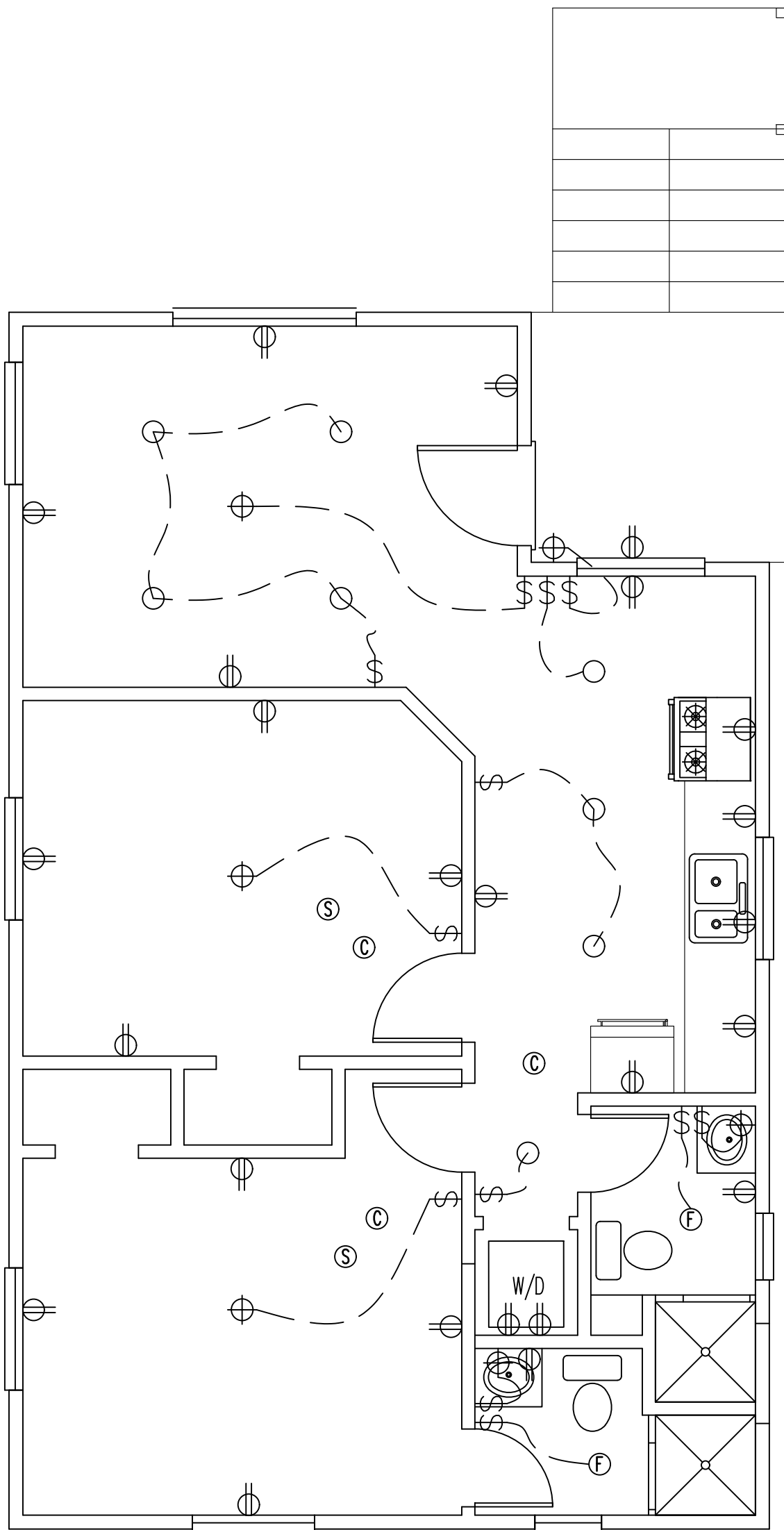
- PER CGBC SECTION 4.303, PROVIDE THE FOLLOWING WATER CONSERVING FIXTURES AND FITTINGS IN ACCORDANCE WITH CODE SECTION:  
A. SHOWERHEADS = 1.8 GPM @ 80 PSI  
B. LAVATORY FAUCETS = 1.2 GPM@ 60 PSI  
C. KITCHEN FAUCET = 1.8 GPM @ 60 PSI.  
D. TANK WATER CLOSET = 1.28 GALLONS/FLUSH
- SMOKE ALARMS AND CARBON MONOXIDE ALARMS SHALL BE HARD-WIRED CONNECTED TO BUILDING POWER SOURCE WITH BATTERY BACKUP. INTERCONNECT SMOKE ALARMS AND CARBON MONOXIDE ALARMS TO ACTIVATE ALL DEVICES IN THE EVENT OF AN ALARM. SMOKE ALARM IN LIVING AREA TO BE IONIZATION TYPE WITH ALARM SILENCING SWITCH OR PHOTOELECTRIC TYPE.
- BATHROOMS, UTILITY AND LAUNDRY ROOMS SHALL HAVE HIGH EFFICACY FIXTURES. AT LEAST ONE FIXTURE PER ROOM/SPACE SHALL BE CONTROLLED BY VACANCY SENSOR. CEC SECTION 150.0(k)(2)(i)
- ALL 125V. 15 AND 20-AMP RECEPTACLES SHALL BE LISTED TAMPER-RESISTANT RECEPTACLES.
- ALL BATHROOM EXHAUST FANS TO HAVE INTEGRAL HUMIDISTAT WITH RANGE OF 50% TO 80% HUMIDITY PER CGBS 4.506, BE ENERGYSTAR COMPLIANT AND BE DUCTED TO TERMINATE OUTSIDE OF BUILDING.
- 2019 CGBC MANDATORY MEASURES ARE INCORPORATED:  
A. ENERGY COMPLIANCE CERTIFICATE  
B. WATER CONSERVING PLUMBING FIXTURES  
C. CONSTRUCTION WASTE MANAGEMENT PLAN – SUBMITTED AS PART OF THIS APPLICATION  
D. DUCT OPENINGS TO BE COVERED DURING CONSTRUCTION  
E. PAINTS AND ADHESIVES TO COMPLY WITH VOC CONTENT LIMITS  
F. BATH EXHAUST FANS TO BE ENERGY STAR COMPLIANT WITH HUMIDISTAT CONTROLS  
G. BUILDING AND OPERATION MANUAL TO BE PROVIDED AT FINAL INSPECTION
- ENVIRONMENTAL AIR DUCT EXHAUSTS SHALL TERMINATE NO LESS THAT 3 FEET FROM PROPERTY LINES AND OPENINGS INTO BUILDINGS.
- TWO 20-AMP CIRCUITS SHALL BE PROVIDED FOR SMALL KITCHEN APPLIANCES. ONE 20-AMP CIRCUIT SHALL BE PROVIDED FOR LAUNDRY APPLIANCES AND BATHROOM RECEPTACLES OUTLETS EACH.
- ALL 120-VOLT, SINGLE-PHASE, 15- AND 20-AMP BRANCH CIRCUITS SUPPLYING OUTLETS IN FAMILY/LIVING/DINING ROOMS, BEDROOMS, CLOSETS AND SIMILAR ROOMS/AREAS (EXCEPT KITCHENS/BATHROOMS/LAUNDRY) SHALL BE PROTECTED WITH ARC-FAULT CIRCUIT, COMBINATION TYPE INSTALLED TO PROTECT THE CIRCUITS.
- ALL KITCHEN COUNTERTOP ELECTRICAL OUTLETS SHALL BE GFCI/AFCI COMBINATION TYPE.
- LIGHT FIXTURES IN TUB OR SHOWER ENCLOSURES SHALL BE LABELED "SUITABLE FOR DAMP LOCATIONS".
- SHOWER COMPARTMENTS SHALL HAVE A FINISHED INTERIOR AREA OF 1,024 SQ. IN., MINIMUM.
- SHOWER ENCLOSURES SHALL BE FINISHED WITH A NONABSORBENT SURFACE TO A HEIGHT NOT LESS THAN 6 FEET ABOVE THE FLOOR.
- SHOWERS SHALL BE PROVIDED WITH SCALD AND THERMAL SHOCK PROTECTION FOR THE RATED FLOW RATE OF THE INSTALLED SHOWERHEAD.
- SHOWER DAM OR THRESHOLD SHALL BE NO LESS THAN 2 INCHES NOR MORE THAN 9 INCHES IN DEPTH AS MEASURED FROM TOP OF DAM TO TOP OF DRAIN.
- SHOWER THRESHOLDS SHALL BE SUFFICIENT WIDTH TO ACCOMODATE A MINIMUM 22 INCH DOOR. DOORS SHALL OPEN TO MAINTAIN 22 INCH UNOBSTRUCTED OPENING.
- SHOWER COMPARTMENTS SHALL HAVE MINIMUM FINISHED INTERIOR AREA OF 1024 SQ. INCHES AND ALLOW A 30" CIRCLE. AREA AND DIMENSIONS TO BE MAINTAINED TO A HEIGHT OF NOT LESS THAN 70 INCHES ABOVE SHOWER DRAIN.
- WATER CLOSETS SHALL NOT BE SET CLOSER THAN 15 INCHES FROM ITS CENTER TO ANY SIDE WALL OR OBSTRUCTION, NOR CLOSER THAN 30 INCHES CENTER TO CENTER TO ANY SIMILAR FIXTURE. THE CLEAR SPACE IN FRONT OF THE WATER CLOSET SHALL NOT BE LESS THAN 24 INCHES.
- SHOWER GLASS ENCLOSURES SHALL BE SAFETY GLAZING.
- VACANCY SENSORS OR DIMMERS SHALL BE PROVIDED FOR ALL LUMINAIRES REQUIRED TO HAVE LIGHT SOURCES COMPLIANT WITH REFERENCE JOINT APPENDIX JAB SUCH AS GU-24 SOCKETS CONTAINING LED LIGHT SOURCES. EXCEPT FOR HALLWAYS AND CLOSETS LESS THAN 70 S.F. CEC SECTION 150.0 (k)(2)(j).
- OUTDOOR LIGHTS ATTACHED TO THE BUILDING SHALL BE HIGH EFFICACY, CONTROLLED BY A MANUAL ON/OFF SWITCH WITH PHOTOCCELL AND EITHER A MOTION SENSOR OR AN AUTOMATIC TIME SWITCH CONTROL. OR CONTROLLED BY AN ASTRONOMICAL TIME CLOCK OR BY AN ENERGY MANAGEMENT SYSTEM. CONTROLS THAT OVERRIDE TO ON SHALL NOT BE ALLOWED UNLESS THE OVERRIDE AUTOMATICALLY RETURNS THE AUTOMATIC CONTROLS TO THE NORMAL OPERATION WITHIN 6 HOURS. CEC SECTION 150.0(K)(3)(A).
- PROVIDE FIBER-CEMENT, FIBER-MAT REINFORCED CEMENT, GLASS MAT GYPSUM OR FIBER-REINFORCED GYPSUM BACKER AS BASE FOR CERAMIC TILES OR OTHER NON-ABSORBENT FINISH MATERIALS IN SHOWER PER CRC SECTION R702.4.2 AND TABLE R702.4.2.

FLOOR PLAN NOTES

- NATURAL GAS TANKLESS WATER HEATER.
- MINI-SPLIT DUCTLESS HEAT PUMP HVAC.
- 100A SUBPANEL.
- TYPE 1 HANDRAIL, MINIMUM 1-1/2" CLEARANCE BETWEEN HANDRAIL AND WALL. SEE BUILDING SECTION 3/A2.0 FOR ADDITIONAL INFORMATION.

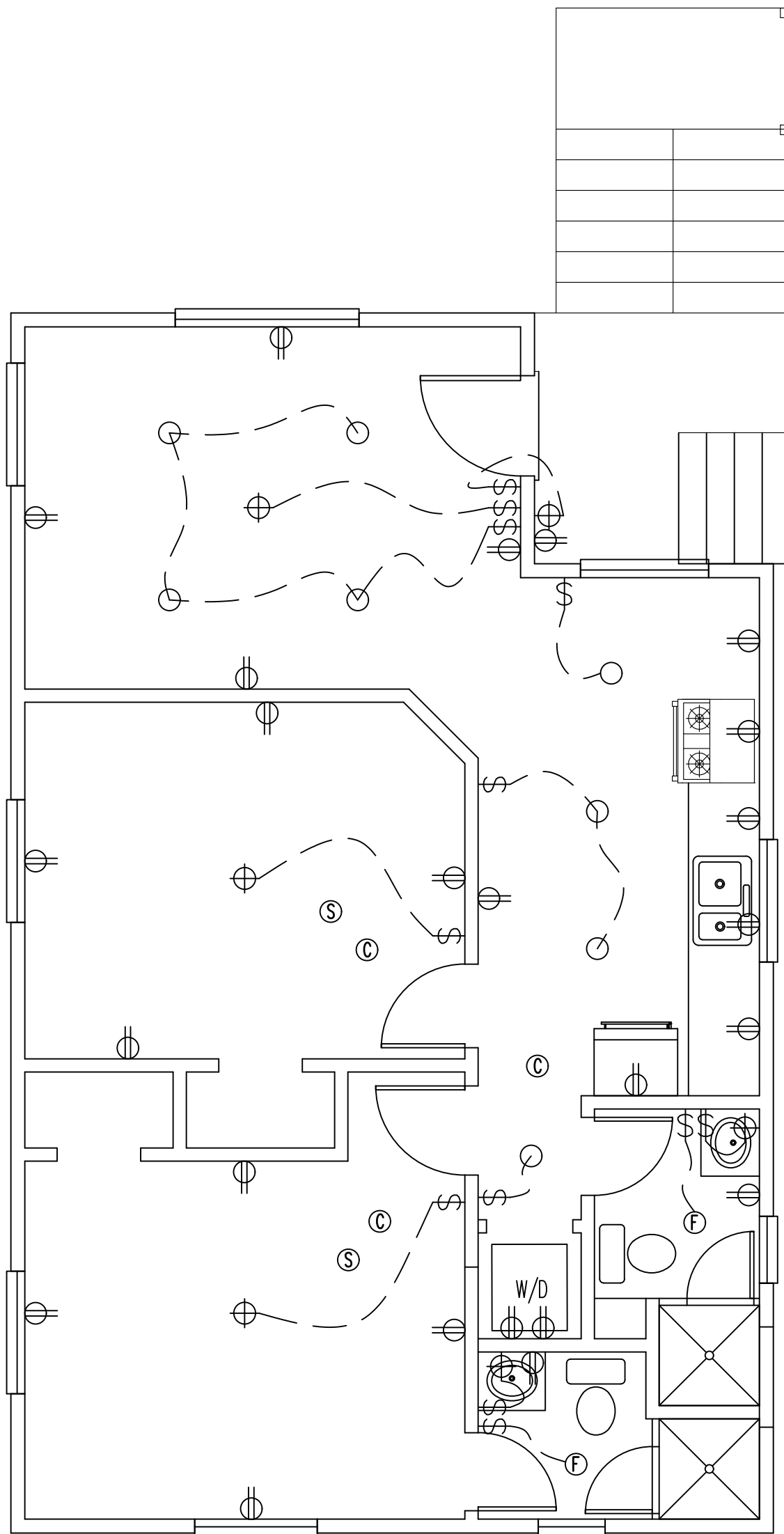
WALL TYPES

- B** EXTERIOR WALL  
2 X 4 STUDS @ 16" O.C. W/5/8" MIN. PLYMD. SIDING, 1/2" TYPE "X" GYP. BD. ON INTERIOR.
- C** INTERIOR WALL – ONE-HOUR FIRE RESISTIVE CONSTRUCTION  
2 X 4 STUDS @ 16" O.C. W/1/2" GYPSUM BOARD BOTH SIDES



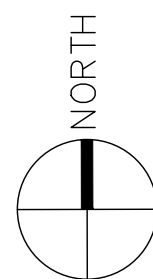
2  
A2.1

SECOND FLOOR PLAN  
SCALE: 1/4"=1'-0"



1  
A2.1

LOWER FLOOR PLAN  
SCALE: 1/4"=1'-0"



**A. CLARK**  
ARCHITECTURE  
250 MAC ARTHUR BLVD.  
SAN LEANDRO, CALIFORNIA, 94577  
(510) 568-5599 tel/fax  
art@acarch.com

DATE APRIL XX, 2022

JOB NO. 2022.11

DRAWN

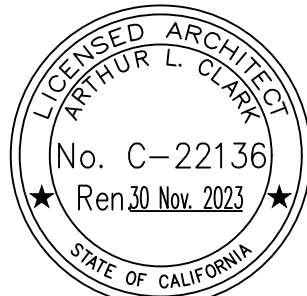
CHECKED

Approved for the Owner

Approved for the Architect

© 2022 A CLARK ARCHITECTURE

PROFESSIONAL STAMP



NO. REVISION DATE

FIRE  
REPAIR  
ALTERATIONS

941 26th STREET  
OAKLAND, CALIFORNIA

ELECTRICAL/  
MECHANICAL  
PLANS

SHEET NO.

A2.1

DATE APRIL XX, 2022

JOB NO. 2022.11

DRAWN

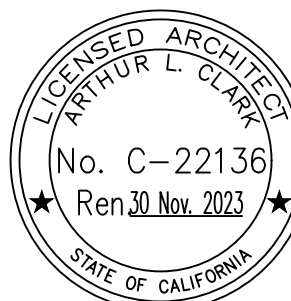
CHECKED

Approved for the Owner

Approved for the Architect

© 2022 A CLARK ARCHITECTURE

PROFESSIONAL STAMP



NO. REVISION DATE

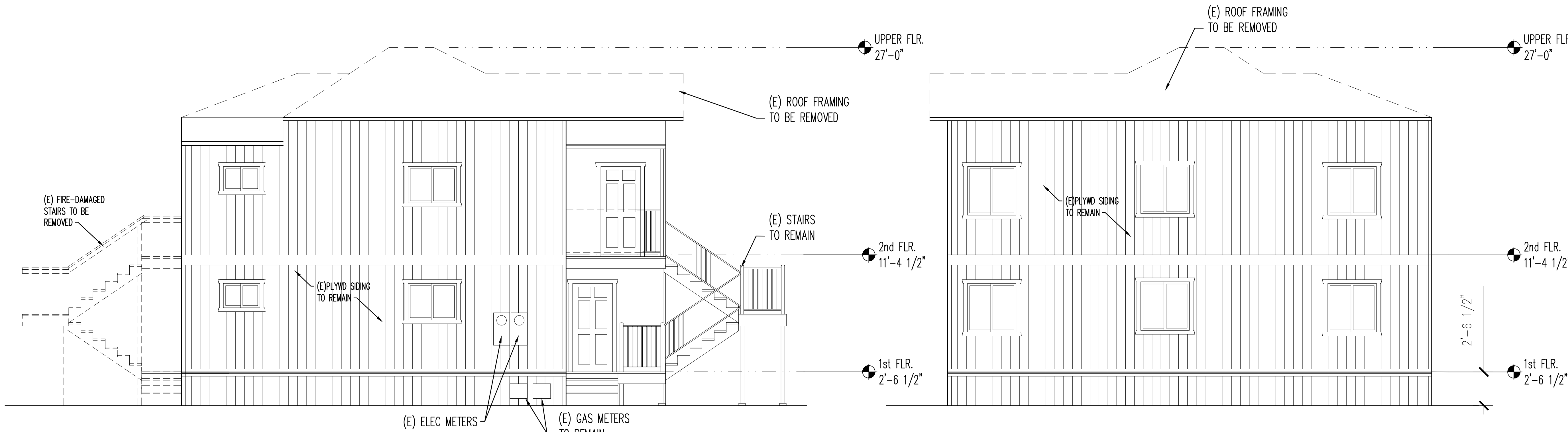
FIRE  
REPAIR  
ALTERATIONS

941 26th STREET  
OAKLAND, CALIFORNIA

EXISTING  
ELEVATIONS

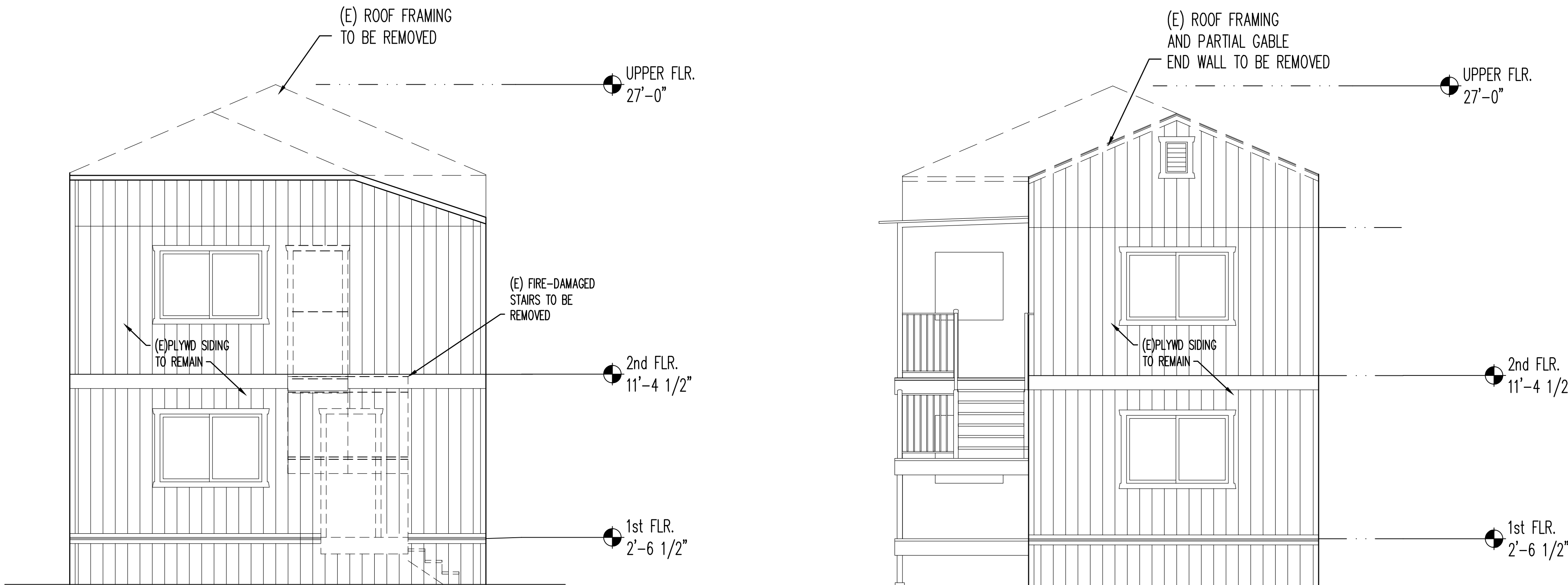
SHEET NO.

A3.0



3 EAST ELEVATION  
A3.0 SCALE: 1/4"=1'-0"

4 WEST ELEVATION  
A3.0 SCALE: 1/4"=1'-0"



2 SOUTH ELEVATION  
A3.0 SCALE: 1/4"=1'-0"

1 NORTH ELEVATION  
A3.0 SCALE: 1/4"=1'-0"

DATE APRIL XX, 2022

JOB NO. 2022.11

DRAWN

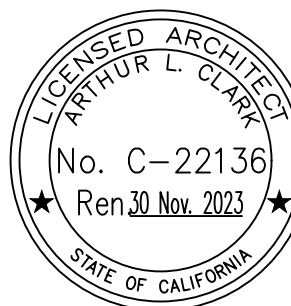
CHECKED

Approved for the Owner

Approved for the Architect

© 2022 A CLARK ARCHITECTURE

PROFESSIONAL STAMP



| NO. | REVISION | DATE |
|-----|----------|------|
|-----|----------|------|

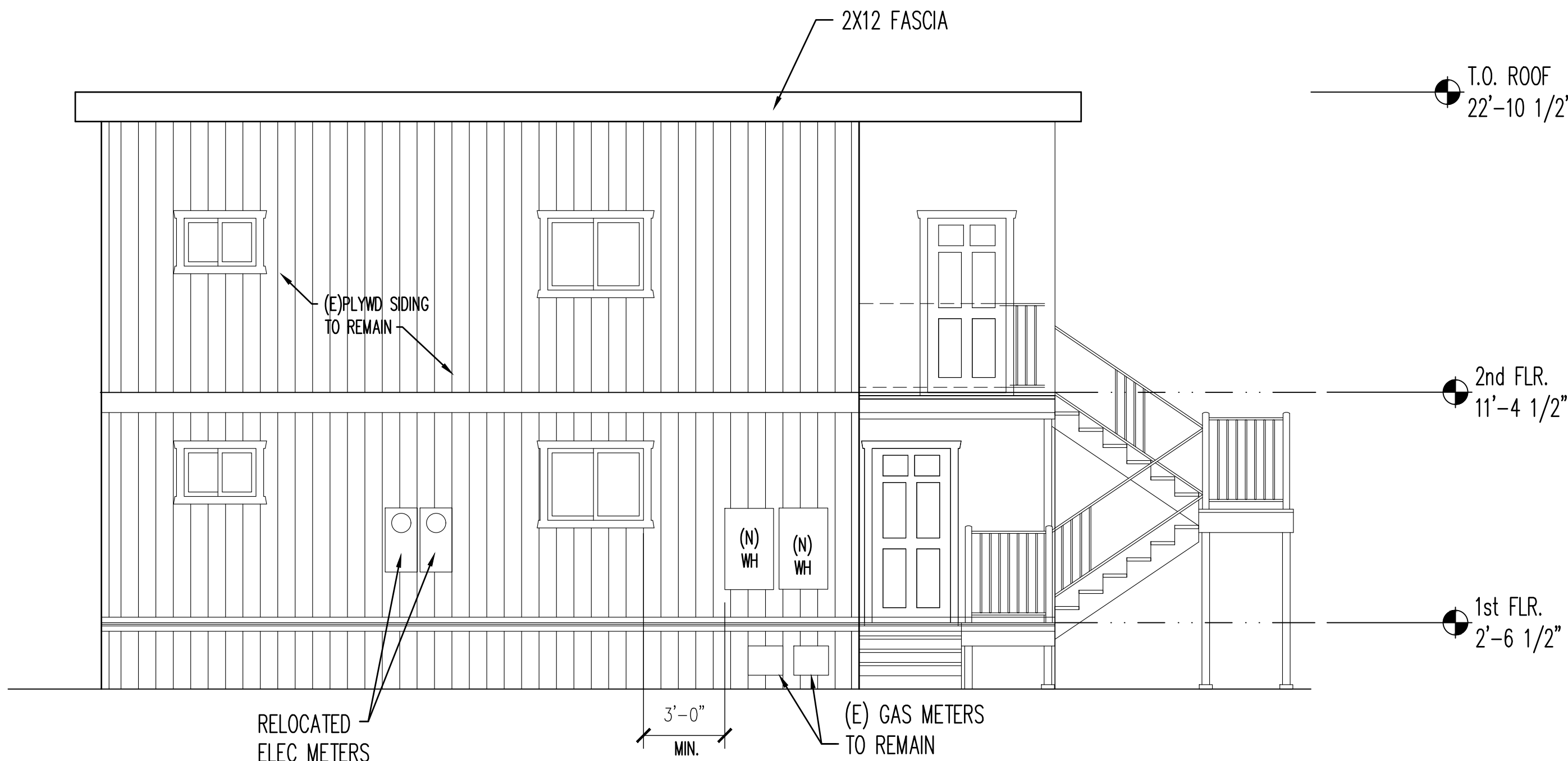
FIRE  
REPAIR  
ALTERATIONS

941 26th STREET  
OAKLAND, CALIFORNIA

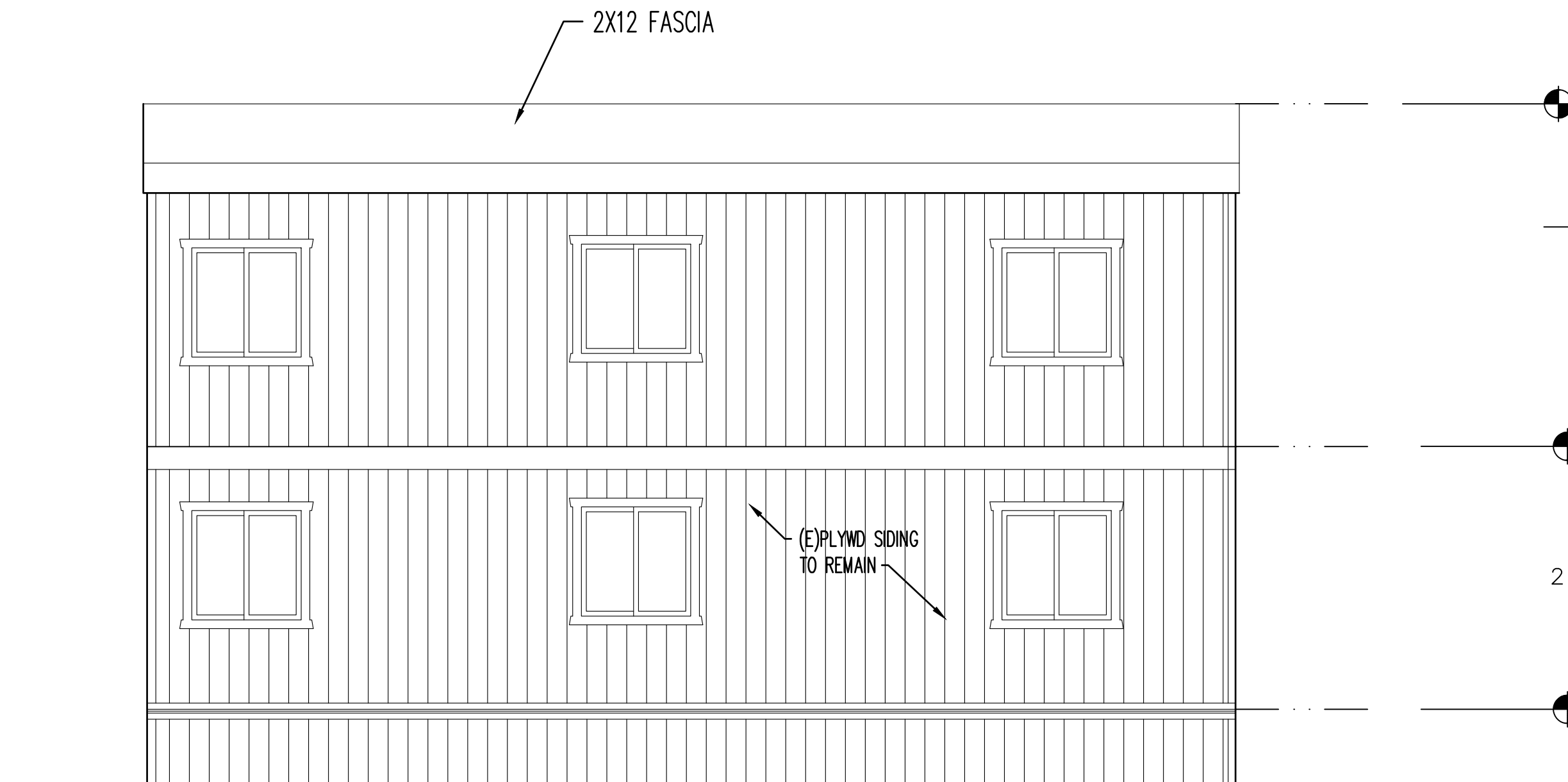
PROPOSED  
ELEVATIONS

SHEET NO.

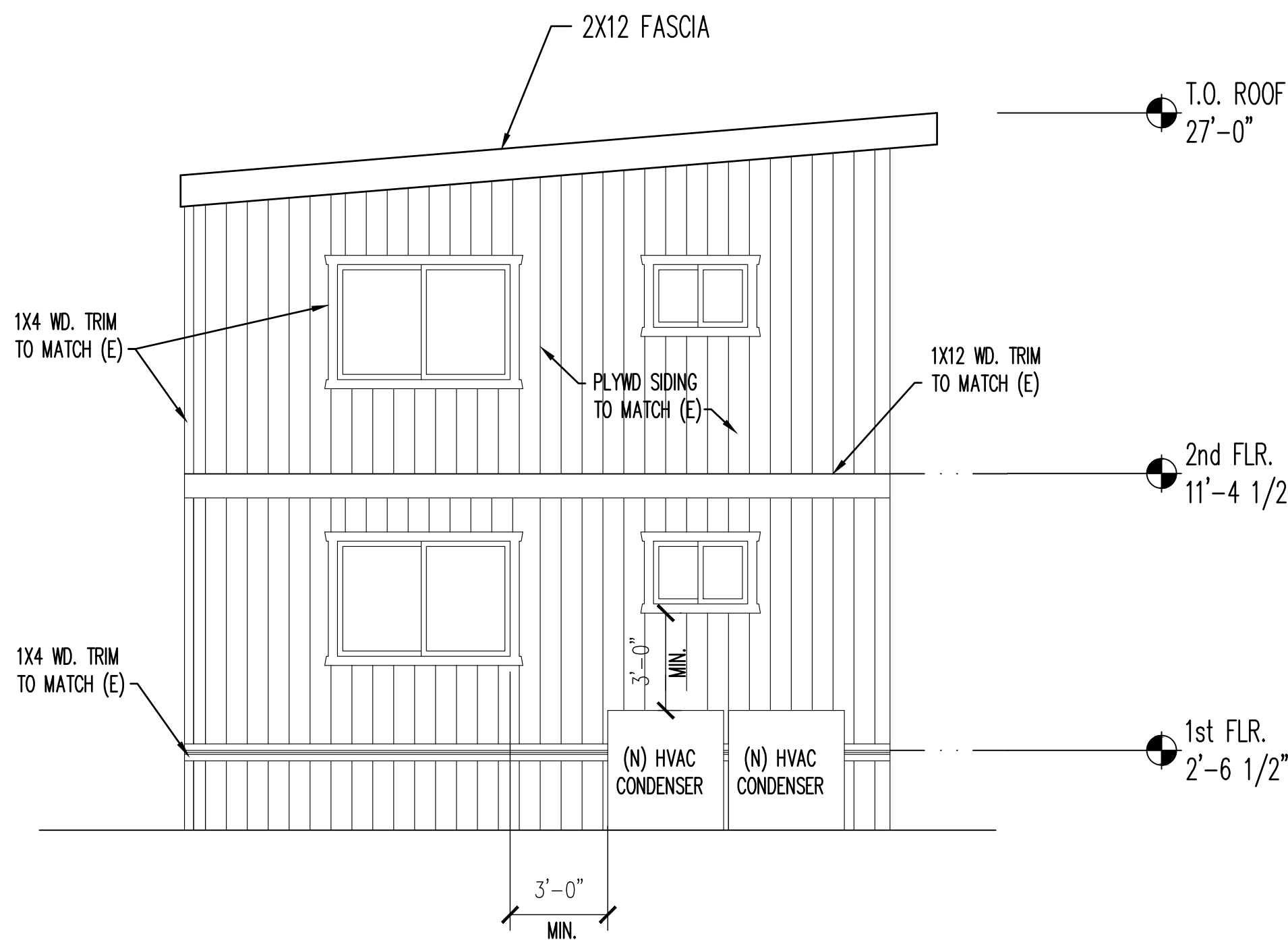
A3.1



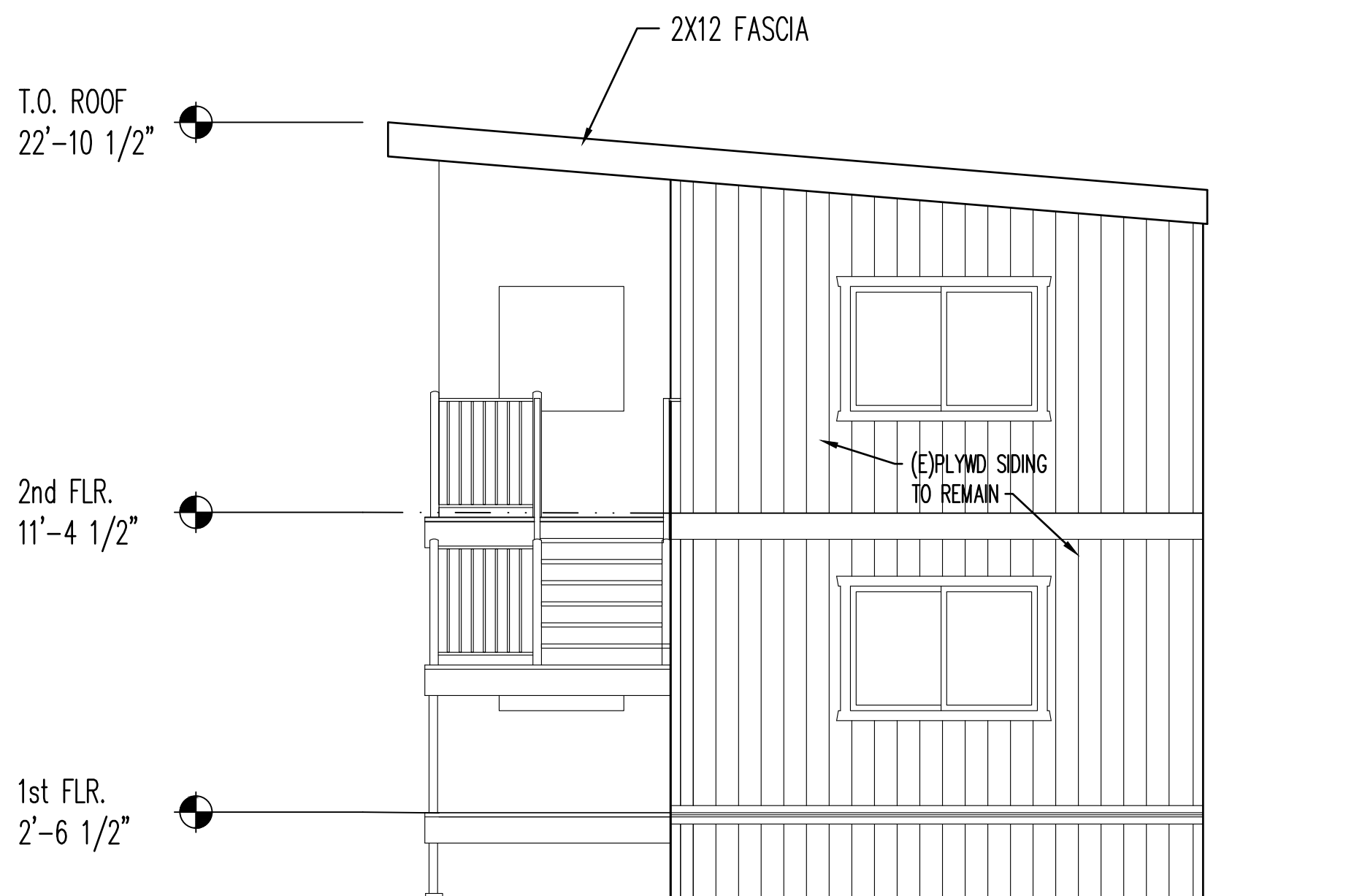
3 EAST ELEVATION  
A3.0 SCALE: 1/4"=1'-0"



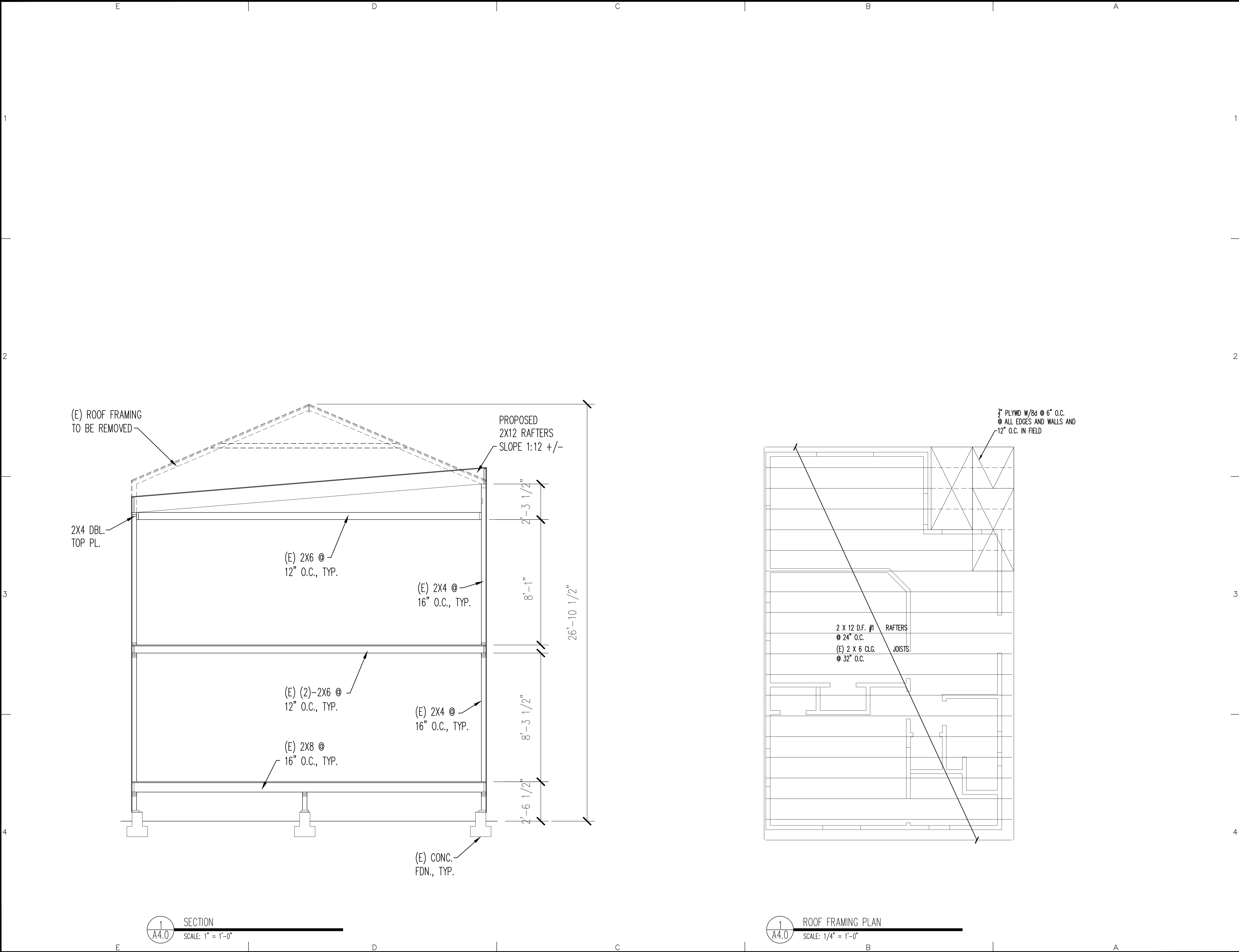
4 WEST ELEVATION  
A3.0 SCALE: 1/4"=1'-0"



2 SOUTH ELEVATION  
A3.0 SCALE: 1/4"=1'-0"



1 NORTH ELEVATION  
A3.0 SCALE: 1/4"=1'-0"



A

CLARK

ARCHITECTURE

250 MAC ARTHUR BLVD.  
SAN LEANDRO, CALIFORNIA, 94577  
(510) 568-5599 tel/fax  
art@acarch.com

|                        |                |
|------------------------|----------------|
| DATE                   | APRIL XX, 2022 |
| JOB NO.                | 2022.11        |
| DRAWN                  |                |
| CHECKED                |                |
| Approved for the Owner |                |

|                             |  |
|-----------------------------|--|
| Approved for the Architect  |  |
| © 2022 A CLARK ARCHITECTURE |  |

PROFESSIONAL STAMP

LICENSED ARCHITECT  
ARTHUR L. CLARK  
No. C-22136  
Ren. 10 Nov. 2023  
STATE OF CALIFORNIA

|     |          |      |
|-----|----------|------|
| NO. | REVISION | DATE |
|-----|----------|------|

FIRE  
REPAIR  
ALTERATIONS

941 26th STREET  
OAKLAND, CALIFORNIA

DETAILS  
SECTIONS

SHEET NO.

A4.0